



ryan hughes | design | build
Outdoor Living Redefined

4769 Juniper Drive
Palm Harbor, FL 33685
Phone: 727.940.2653

SENIOR RESIDENCE
LOT 16 HARBORPOINTE DR.
PORT RICHEY, FL 34668

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Written dimensions on these drawings
shall have precedence over scale
dimensions. All construction shall be in
accordance with the accepted Florida
Building Code 2014, 5th Edition.

DATE: FEBRUARY 24, 2017

REVISIONS	
NO.	REVISION DESCRIPTION

NORTH

DESIGNED BY:

-

DRAWN BY:

JTZ

APPROVED BY:

-

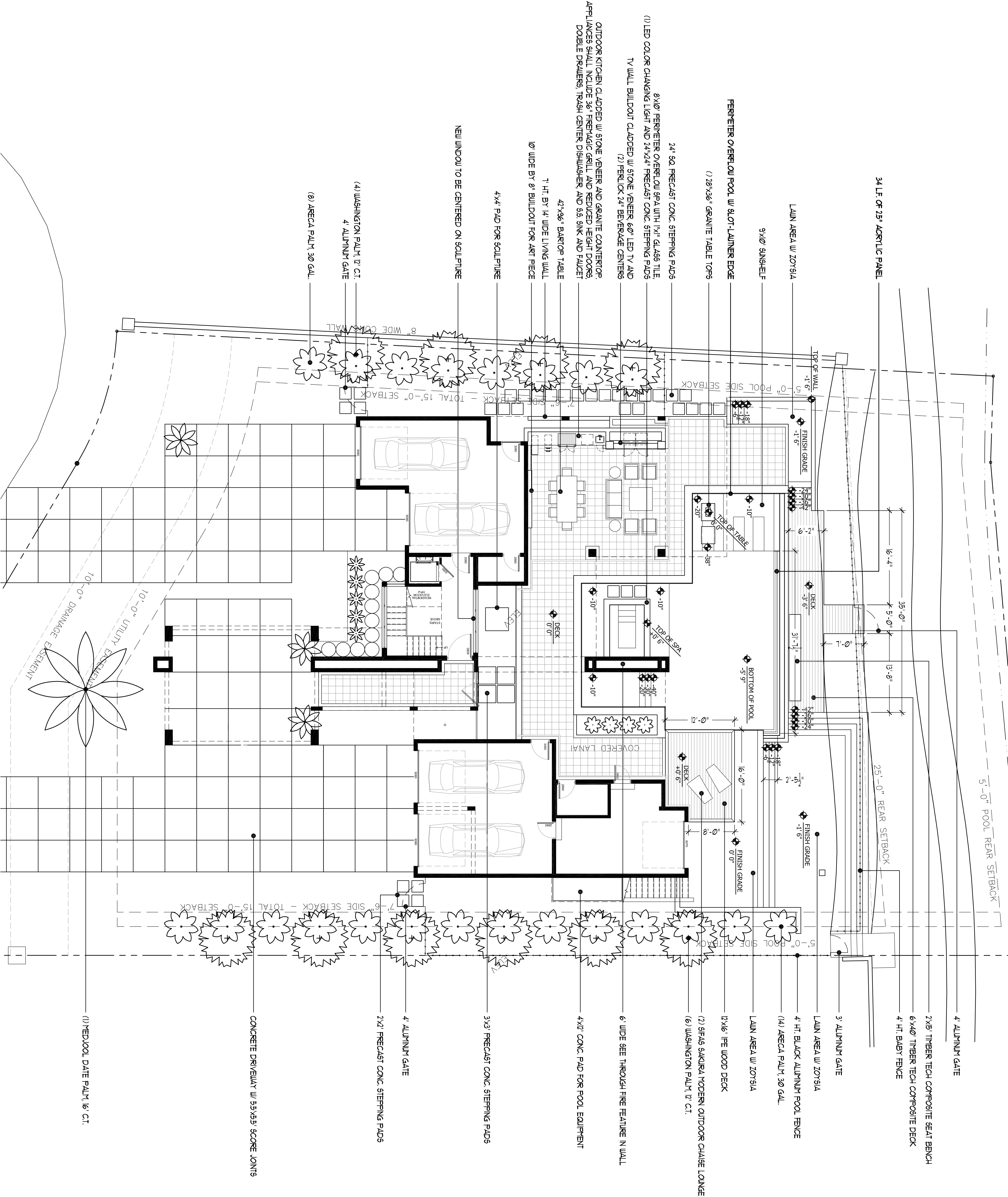
SCALE: AS SHOWN

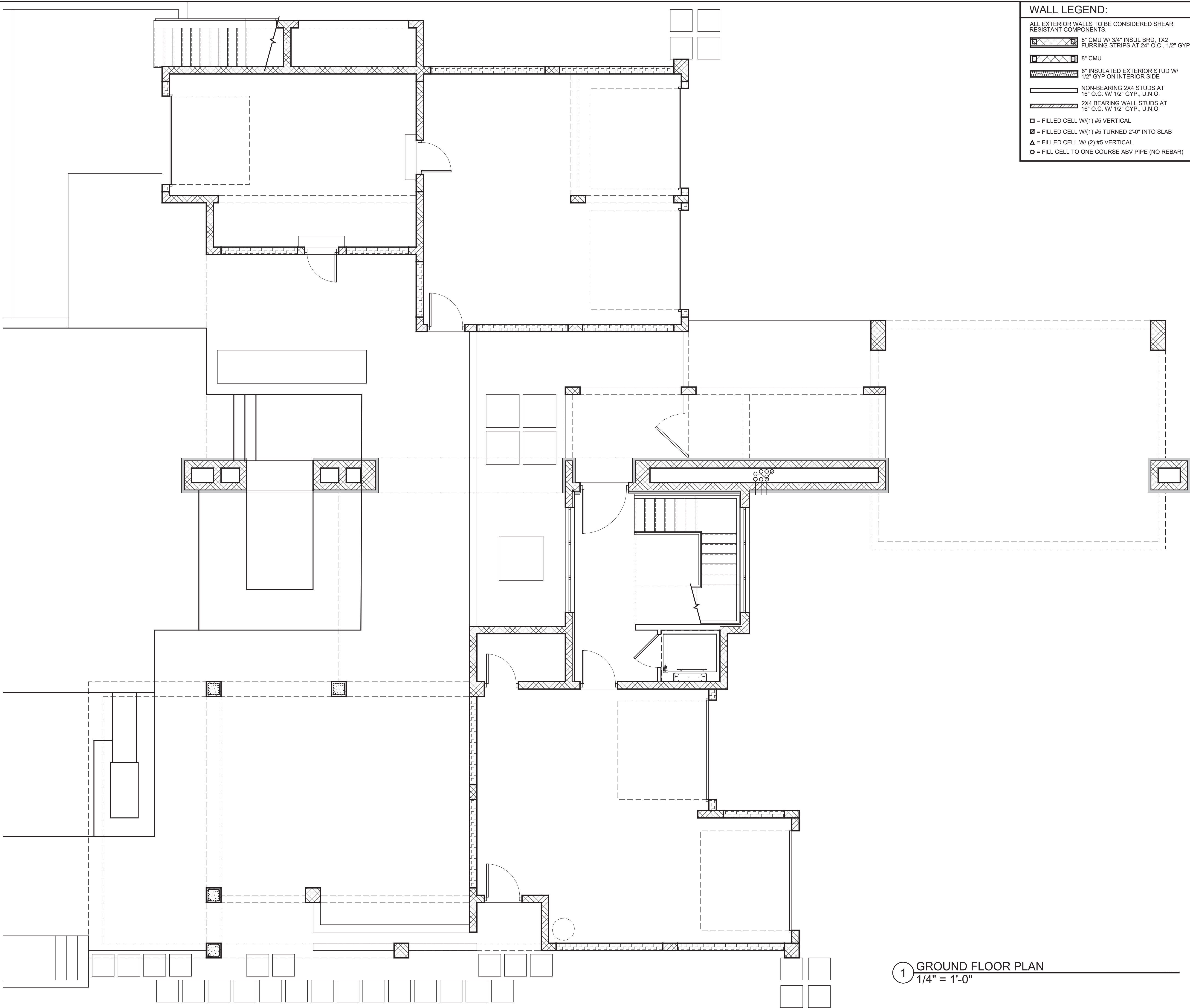
CONCEPT PLAN

CONCEPT PLAN

SCALE: 1/8" = 1'-0"


L1.0
SHEET: 1 OF 4








WALL LEGEND:


ALL EXTERIOR WALLS TO BE CONSIDERED SHEAR RESISTANT COMPONENTS.


 8" CMU W/ 3/4" INSUL BRD, 1X2 FURRING STRIPS AT 24" O.C., 1/2" GYP


 8" CMU


 6" INSULATED EXTERIOR STUD W/ 1/2" GYP ON INTERIOR SIDE


 NON-BEARING 2X4 STUDS AT 16" O.C. W/ 1/2" GYP., U.N.O.

 2X4 BEARING WALL STUDS AT 16" O.C. W/ 1/2" GYP., U.N.O.

 = FILLED CELL W/(1) #5 VERTICAL

 = FILLED CELL W/(1) #5 TURNED 2'-0" INTO SLAB

 = FILLED CELL W/ (2) #5 VERTICAL

 = FILL CELL TO ONE COURSE ABV PIPE (NO REBAR)

GENERAL NOTES:

ALL WINDOWS TO HAVE FLUSH SILLS. PITCH TOP SILL FIN AWAY FROM WINDOW FRAME.

VERIFY ALL WINDOW AND DOOR ROUGH OPENING SIZES WITH THE MANUFACTURER'S SPECIFICATIONS.

INSTALL RND DRYWALL BEADS AT HORIZ & VERT CORNERS, EXCEPT AT EXT WALL OPENINGS OR AS NOTED.

USE SQUARE CORNER BEAD AT DRYWALL NICHES & REC CLG DETAILS, REC CLG SURFACES SHALL HAVE SMOOTH FINISH.

LOCATE ALL PLUMBING & EXHAUST STACKS BEYOND THE FRONT ELEV ROOF RIDGES, IF ALLOWABLE PER CODE.

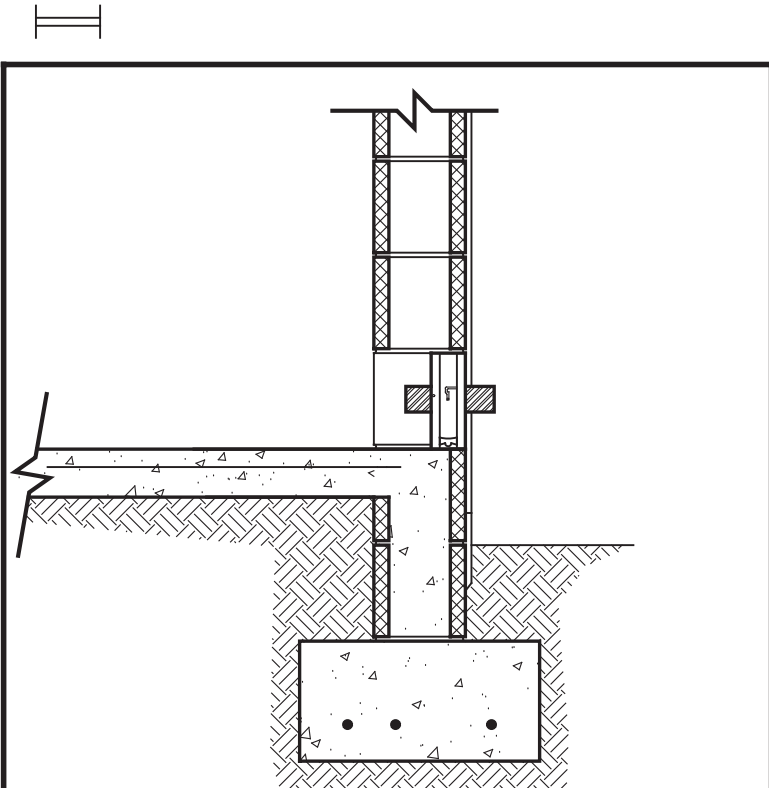
THE GARAGE IS TO BE SEPARATED FROM ADJACENT LIVING AREA AND ATTIC SPACE BY 1/2" GYPSUM BOARD AND HABITABLE ROOMS ABOVE BY NOT LESS THAN 5/8" THK. TYPE "X" GYPSUM BOARD (OR EQUIVALENT) APPLIED TO THE GARAGE SIDE.

TOWEL BAR - (T.B.) = 42" A.F.F. OR U.N.O.
TOWEL BAR ABV. TUB DECK = 36" ABV. TUB DECK
TOILET PAPER DISP. - (T.P.) = 20" A.F.F.
ROD AND SHELF (SGL)- (R/S) = 60" A.F.F.
ROD AND SHELF (DBL)- (R/S) = 40" & 80" A.F.F.
CORNER SHELF = 56" A.F.F.
MEDICINE CABINET - (M.C.) = 75" TO TOP OF CABINET A.F.F.

PRODUCT CATEGORY	SUB CATEGORY	MANUFACTURER
WINDOWS	SINGLE HUNG	PGT
DOORS	OUT SWING	PGT

SQUARE FOOTAGE:	
AREA	PROPOSED
GROUND FLOOR LIVING (1st LEVEL)	301
FIRST FLOOR LIVING (2nd LEVEL)	2879
SECOND FLOOR LIVING (3rd LEVEL)	2223
ROOF VESTIBULE - 3rd Floor (4th LEVEL)	134
TOTAL LIVING SQ FT	5537
2 CAR GARAGE #1	595
2 CAR GARAGE #2	592
GROUND FLOOR STORAGE	372
GROUND FLOOR STORAGE #2	49
COVERED LANAI	1701
ENTRY	189
PORTE COCHERE	551
PORTE COCHERE BALCONY #1	658
1ST FLOOR BALCONY #2	410
1ST FLOOR BALCONY #3	268
2ND FLOOR BALCONY #1	156
2ND FLOOR BALCONY #2	327
ROOF OUTDOOR LIVING	1642
TOTAL NON-LIVING SQ FT	7510
TOTAL SQ FT	13047

1 GROUND FLOOR PLAN
1/4" = 1'-0"



SMART VENT DETAIL
3/4" = 1'-0"



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Project
**SENIOR
RESIDENCE**

4333 HarborPointe,
Port Richey, Florida,
34668

Prepared for
Shane and Christina
Senior

Professional Seal

ANDREW J. DOHMEN,
AR #15805 7/17/2017

No.	Revision	Description	Date
01	PERMIT	02/09/2017	
02	CHANGES	04/17/2017	
03	TRUSS REV.	05/19/2017	
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-

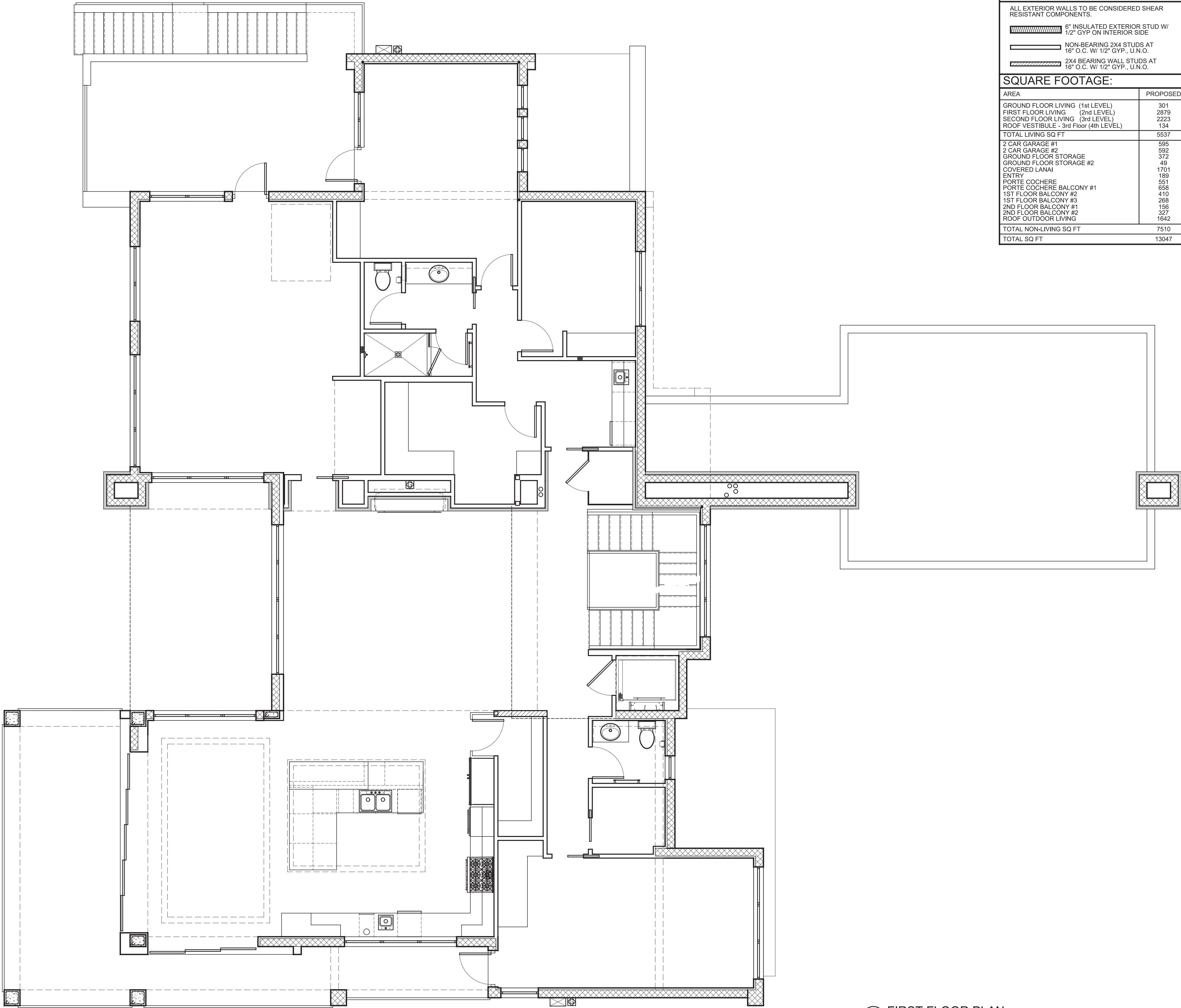
Drawn by: DDW Checked by: JC
Project number: 15134

Sheet Title
**GROUND FLOOR
PLAN (1ST LEVEL)**

Original drawing is 24 x 36. Do not scale
contents of drawing

Sheet Number

A3



WALL LEGEND:

ALL EXTERIOR WALLS TO BE CONSIDERED SHEAR RESISTANT COMPONENTS.

6" INSULATED EXTERIOR STUD W/ 1/2" GYP ON INTERIOR SIDE

NON-BEARING 2X4 STUDS AT 16" O.C. W/ 1/2" GYP., U.N.O.

2X4 BEARING WALL STUDS AT 16" O.C. W/ 1/2" GYP., U.N.O.

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2ND FLOOR BALCONY #2	327
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TOTAL NON-LIVING SQ FT	7510
TOTAL SQ FT	13047

GENERAL NOTES:

ALL WINDOWS TO HAVE FLUSH SILLS. PITCH TOP SILL FIN AWAY FROM WINDOW FRAME.

VERIFY ALL WINDOW AND DOOR ROUGH OPENING SIZES WITH THE MANUFACTURER'S SPECIFICATIONS.

INSTALL RND DRYWALL BEADS AT HORIZ & VERT CORNERS, EXCEPT AT EXT WALL OPENINGS OR AS NOTED.

USE SQUARE CORNER BEAD AT DRYWALL NICHES & REC CLG DETAILS, REC CLG SURFACES SHALL HAVE SMOOTH FINISH.

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ROD AND SHELF (DBL)- (R/S) = 40" & 80" A.F.F.
CORNER SHELF = 56" A.F.F.
MEDICINE CABINET - (M.C.) = 75" TO TOP OF CABINET A.F.F.

PRODUCT CATEGORY	SUB CATEGORY	MANUFACTURER
WINDOWS	SINGLE HUNG	PGT
DOORS	OUT SWING	PGT



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-	-	-
-	-	-
-	-	-

Drawn by: DDW Checked by: JC
Project number: 15134

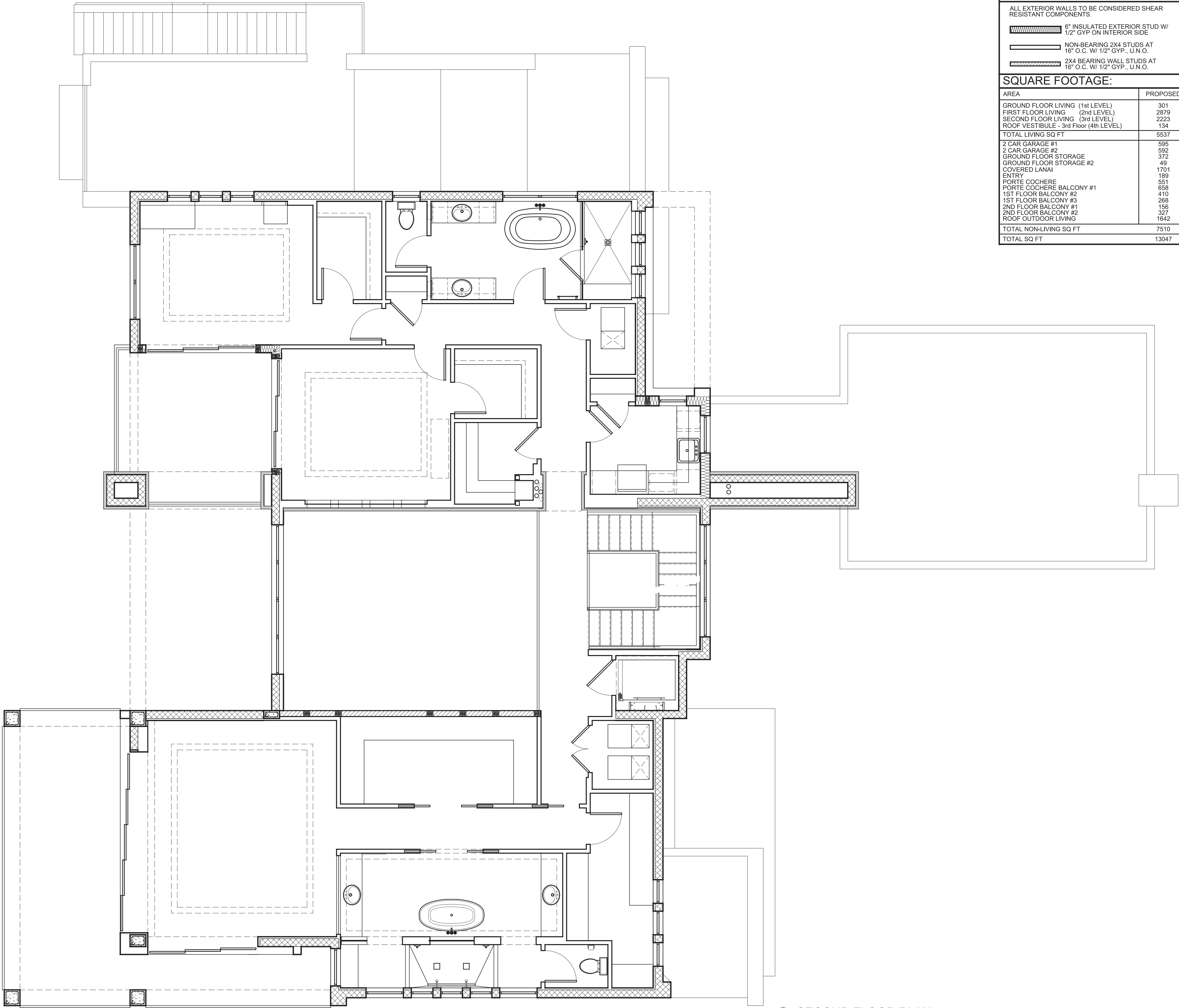
Sheet Title
**FIRST FLOOR
PLAN (2ND LEVEL)**

Original drawing is 24 x 36 Do not scale
contents of drawing

Sheet Number

1 FIRST FLOOR PLAN
1/4" = 1'-0"

A4



WALL LEGEND:

ALL EXTERIOR WALLS TO BE CONSIDERED SHEAR RESISTANT COMPONENTS.

6" INSULATED EXTERIOR STUD W/ 1/2" GYP ON INTERIOR SIDE

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2X4 BEARING WALL STUDS AT 16" O.C. W/ 1/2" GYP., U.N.O.

SQUARE FOOTAGE:

AREA	PROPOSED
GROUND FLOOR LIVING (1st LEVEL)	301
FIRST FLOOR LIVING (2nd LEVEL)	2879
SECOND FLOOR LIVING (3rd LEVEL)	2223
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TOTAL LIVING SQ FT	5537
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2 CAR GARAGE #2	592
GROUND FLOOR STORAGE	372
GROUND FLOOR STORAGE #2	49
COVERED LANAI	1701
ENTRY	189
PORTE COCHERE	551
PORTE COCHERE BALCONY #1	658
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1ST FLOOR BALCONY #3	288
2ND FLOOR BALCONY #1	156
2ND FLOOR BALCONY #2	327
ROOF OUTDOOR LIVING	1642
TOTAL NON-LIVING SQ FT	7510
TOTAL SQ FT	13047

GENERAL NOTES:

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TOILET PAPER DISP. - (T.P.) = 20" A.F.F.
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CORNER SHELF = 56" A.F.F.
MEDICINE CABINET - (M.C.) = 75" TO TOP OF CABINET A.F.F.

PRODUCT CATEGORY	SUB CATEGORY	MANUFACTURER
WINDOWS	SINGLE HUNG	PGT
DOORS	OUT SWING	PGT



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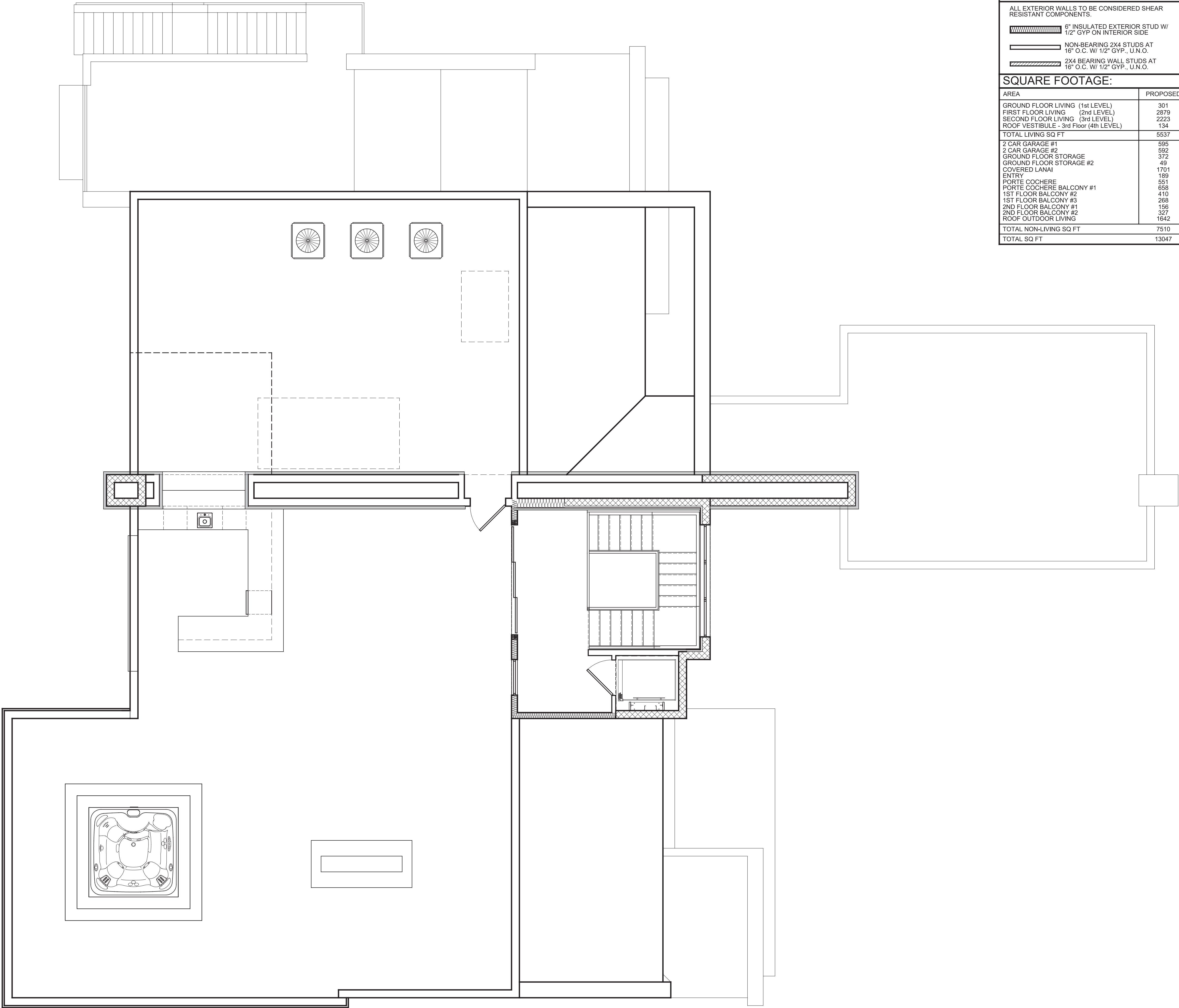
Drawn by: DDW Checked by: JC
Project number: 15134

Sheet Title
**SECOND FLOOR
PLAN (3RD LEVEL)**

Original drawing is 24 x 36 Do not scale
contents of drawing

Sheet Number

1 SECOND FLOOR PLAN
1/4" = 1'-0"



STAIR DATA:

WALL LEGEND:

- ALL EXTERIOR WALLS TO BE CONSIDERED SHEAR RESISTANT COMPONENTS.
- 6" INSULATED EXTERIOR STUD W/ 1/2" GYP ON INTERIOR SIDE
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SQUARE FOOTAGE:

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PORTE COCHERE BALCONY #1	658
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GENERAL NOTES:

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- INSTALL RND DRYWALL BEADS AT HORIZ & VERT CORNERS, EXCEPT AT EXT WALL OPENINGS OR AS NOTED.
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-	-		-
-	-		-
-	-		-
-	-		-

Drawn by: DDW Checked by: JC
Project number: 15134

Sheet Title
**THIRD FLOOR
PLAN (4TH LEVEL)**

Original drawing is 24 x 36 Do not scale
contents of drawing

Sheet Number

1 THIRD FLOOR PLAN/ ROOF PATIO
1/4" = 1'-0"

A6